

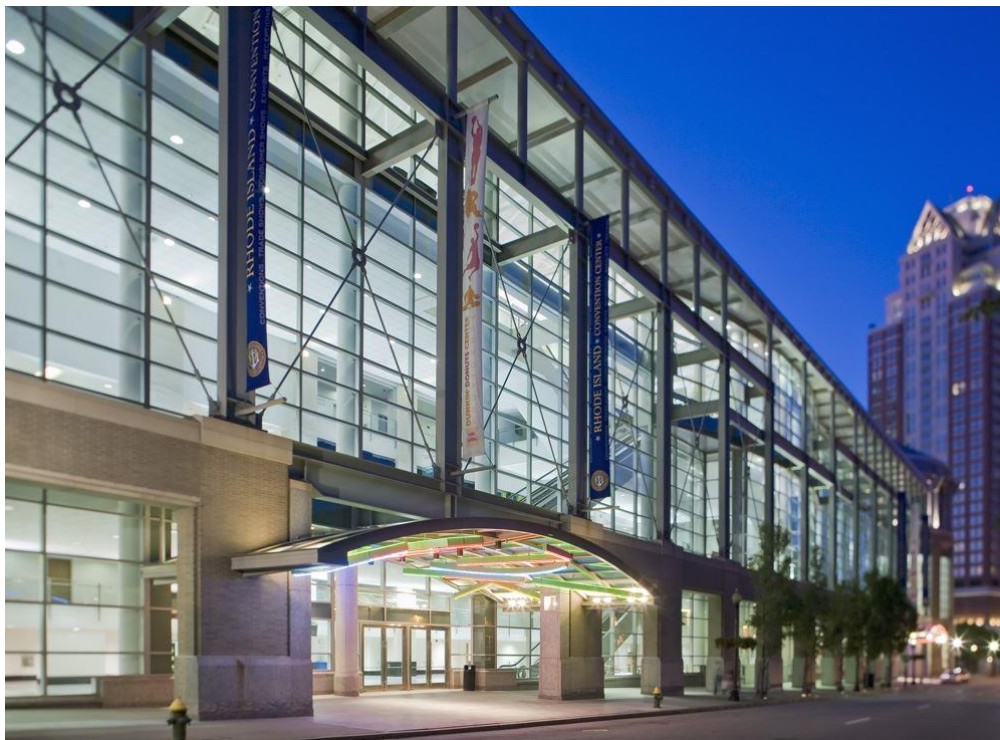


REQUEST FOR PROPOSALS

DESIGN SERVICES FOR THE RENOVATIONS AND REPAIRS OF THE NORTH AND SOUTH PARKING GARAGES AND VARIOUS OTHER SITE IMPROVEMENTS AT THE RHODE ISLAND CONVENTION CENTER

RHODE ISLAND CONVENTION CENTER AUTHORITY

One LaSalle Square, Providence, RI 02903



The following are critical dates and times:

Respondent Notification: March 22, 2023

Mandatory Walk-through Meeting: April 3, 2023 at 11:00AM -James P. McCarvill Board Room
2nd Floor, Rhode Island Convention Center. One Sabin Street, Providence, RI 02903

Proposal Response Due: April 14, 2023, 2:00PM

Interview (if held) shall be on: April 19, 2023

PURPOSE OF WORK

The successful Proposer will reserve the right to enter into an agreement to supply the Rhode Island Convention Center Authority with design services for the renovations and repairs at the North and South Parking Garages and other various site improvements at the Rhode Island Convention Center as outlined in this document. The successful firm may be assigned further projects in the Amica Mutual Pavilion (AMP) and the RI Convention Center.

DESCRIPTION OF FACILITY

The building is located at One Sabin Street, Providence, RI 02903

The responses to this RFP will be evaluated and used as the basis for supplier selections for subsequent proposal discussions and negotiations. To maximize your opportunity for success in this process, we encourage you to provide your company's most competitive proposal in its initial offer.

REQUEST FOR PROPOSAL SUBMITTAL

The Rhode Island Convention Center Authority will receive proposals for the design services for the Renovations and Repairs of the North and South Parking Garages and various other site improvements.

Proposal Documents: three (3) printed copies and also saved on one (1) USB thumb drive and must be submitted by US Mail and or Courier and received no later than **April 14, 2023, at 2:00PM**. Proposals received after that time and date will be returned unopened. All proposals must be clearly and distinctly typed, pricing submitted on the pricing sheet provided, and the Proposer must sign each proposal.

Send proposals to:

Rhode Island Convention Center Authority
RE: Renovations and Repairs to North and South Garages
Attention: Daniel McConaghy, Executive Director
One LaSalle Square
Providence, RI 02903

Pre-Proposal Site Walkthrough

Firms submitting proposals are required to attend the Mandatory Pre-Proposal site visit on **April 3, 2023 at 11:00 AM**. The Pre-Proposal site visit meeting will be held at the James P. McCarvill Board Room 2nd Floor, Rhode Island Convention Center. One Sabin Street, Providence, RI 02903.

During this meeting, we will provide general overview of scope of work as outlined in the RFP, take a tour of the proposed spaces and hold general discussions. Please e-mail or call Howard Allen, Purchasing Manager, at hallen@pvdricenter.com; (401) 458-6016 to RSVP for this meeting no later than **March 30, 2023 at 4:00PM** (if leaving a message, please clearly state the company you are with along with how many people will be attending this meeting).

Questions:

All questions regarding this RFP should be sent to Howard Allen, Purchasing Manager at hallen@pvdricenter.com in the form of a WORD document no later than **April 6th, 2023 at 2:00PM**. Answers will be issued via Addendum on the Authority website under the “RFPs & Financials” tab.

Rhode Island Convention Center Rights:

The Rhode Island Convention Center Authority reserves the right to:

1. Reject any and all proposals.
2. Render a proposal unfit if the Proposer fails to follow the format of the RFP.
3. Require Proposers to submit additional appropriate information.
4. Inspect the Proposer’s premises and/or other contracts they have completed.
5. Depending on the number of Proposers, choose a list of finalists to make oral presentations.
6. Negotiate with the company that is the successful Proposer.
7. Negotiate for a partial or selected list of services.
8. Negotiate with another proposer if negotiations with the first Proposer are not moving towards an acceptable agreement.

GENERAL INSTRUCTIONS

To be considered, Proposer must provide the information requested herein, in writing, within the time frame specified. The Rhode Island Convention Center Authority will compare proposals, ask any questions to all bidders, and move forward with the vendor whom it feels most qualified.

Evaluation Elements:

The compensation sought by the operator will be one of the factors in evaluating the firms. The firm selected to provide the Rhode Island Convention Center Authority with design will be evaluated using additional key evaluation elements, such as:

1. Company’s Ability to Perform Scope of Work Required.
2. Cost-Structure of Proposed Services.
3. Financial Stability of the Firm.
4. Review and Analysis of Five (5) References Provided.

Prohibition of Alterations:

Proposals which are incomplete, or which are conditioned in any way, or which contain erasures, alterations, or are not in conformity with the law may be rejected.

Tax and License Requirements:

Proposers must follow any and all laws it is subject to in their proposal for services.

Obligation:

The RFP does not obligate the Rhode Island Convention Center Authority to contract for any services, expressed or implied.

Rejection of Proposals:

The Rhode Island Convention Center Authority reserves the right to:

- Make all decisions regarding this proposal, including, without limitation, the right to decide whether a proposal does or does not substantially comply with the requirements of this RFP.
- Accept, reject, or negotiate modifications in any terms of bidder's proposal or any part thereof.
- To reject any or all proposals received.

The Rhode Convention Center Authority shall not be responsible for any cost incurred by any bidder in the preparation of this proposal. It must be specifically understood that this RFP does not create any obligation on the part of the Rhode Island Convention Center Authority to enter into any contract or undertake any financial obligation with respect to the items referred to herein. The bidder understands that, if selected, the Rhode Island Convention Center Authority reserves the right to provide its opinion publicly and privately regarding bidder's performance, throughout the entire project.

REQUEST FOR PROPOSAL CONTENT

For consideration, the Proposer's proposal must contain the requested information. The Rhode Island Convention Center Authority reserves the right to reject proposals that are incomplete.

Responses must address each item listed in this section. Organize the submittal in the same order as requested. Incomplete responses to any of these items or failure to submit complete submittals, as requested, may render your RFP response insufficient and may be denied further consideration. RFP responses that do not meet or exceed the requested information in each item requested will be considered incomplete.

Responses must be typed or printed. Any handwritten corrections made by submitting firms must be initialed and dated by an officer of the firm. No changes or corrections will be allowed after responses are received.

Proposals should be limited to 30 pages in total including cover letter. Text shall be no smaller than 12 point.

SCOPE OF SERVICES

Renovations and repairs to the existing North and South Parking Garages and perimeter site improvements around the Rhode Island Convention Center and Amica Mutual Pavilion (AMP). The Parking Garages have not undergone significant improvements since their construction in the 1990's. Observations of deterioration include expansion joints and joints between precast decks, spalling of concrete columns and other concrete structural elements, rust on some structural steel supports, existing drainage systems, rust on some mechanical and electrical components in the structures. While the lighting in the garage has been replaced in the past, it should be evaluated to ensure adequate and safe light levels throughout the garages. Fire alarm and other life safety systems, and traffic control signage should be evaluated.

(The access control systems were recently replaced and are NOT part of this project)

Around the building, there are signs of deterioration of roads, sidewalks, curbs, and the interface with the building envelope.

The attached (Exhibit B) existing drawings reflect the areas that are part of the scope of the project. The approximate net square footage of the proposed scope in the 3-story South Garage is 240,000 sqft. The approximate net square footage of the proposed scope in the 8-story North Garage is 540,000sqft. In addition to attached graphics, PDF copies of existing drawings will be made available to the selected firm.

The Authority is requesting proposals from design firms to perform these Tasks:

1. Perform a review of all the areas and develop an itemized scope of work the consultants feel should be addressed
2. Develop proposed solutions for the items
3. Prioritize those from most important to least important.
4. Prepare order of magnitude estimates for each item.
5. Present these to the Authority team for consideration, first as a draft, then as a final report with any modifications requested by the Authority.

With this information the Authority shall choose what items to proceed with. The Authority reserves the right to negotiate a fee with the designer to complete construction documents and provide construction administration for the work.

The Owner has engaged an Owner's Project Manager (Hill International) to represent the Owner during the Project. The work may either be done by a CM at Risk, or as a lump sum bid General Contractor.

Other considerations:

- The Authority may request a proposal for 3d laser scans and documentation of the existing conditions in the building. The proposer should describe their capabilities in this area.

- COVID: the Authority follows the State of Rhode Island guidelines that are in place at the time.
- Logistic planning and interim life safety plans will be needed when the project is under construction as building will be occupied during construction. The OPM and the Authority staff must be involved in any such planning. The Authority currently uses Jensen Hughes for its fire alarm and other code compliance reviews. Proposers are free to utilize the most qualified code consultant with Rhode Island experience.
- The Designer may be asked to provide research findings showing “best practices” utilized at other similar facilities.
- The proposer should include in the fee a building code consultant with Rhode Island project experience.
- This project will require progress meetings with the State Fire Marshall and the Building Commissioner (who are the AHJ for the Authority buildings) in order to attain project approvals. This should be included in any further the fee proposals.
- Coordination with Owner: The selected firm if contracted for construction documents, will coordinate the project design development and construction documents with the Authority staff and building operators, and other stakeholders in the project.
- The Authority intends to utilize AIA standard form of contract when/if entering into agreement with the selected firm.

Future projects to be completed and how those are packaged is very fluid. Future assignments, if any, are to be determined by the Authority with the collaboration of the CM, the OPM, and the Designer.

Design and Construction

Condition Assessment	5-Weeks
Conceptual Design and report development	4-Weeks
Present Estimates and options, and adjustments	2-Weeks

In the body of the proposal, provide:

- A detailed list of staff that shall be assigned to the project, their resumes and detailed list of current assignments and availability.
- Names and resumes of any specialty consultants such as estimators.
- The proposer should include 5 similar projects with detailed descriptions, costs, schedules, images, square footage, total project cost, start and finish dates, and a reference name, phone number, and email.
- A list of projects that demonstrate relevant experience in the last 5 years including Project name, square footage, total project cost, start and finish dates, and a reference name, title, phone number, and email.

Proposals should be limited to 30 pages in total including cover letter. Text shall be no smaller than 12 point.

INSURANCE REQUIREMENTS

- Statutory Coverage Worker's Compensation Insurance with employer liability limits of \$500,000.00 for each accident, aggregate for disease, and disease of employee; and
- Contractors or subcontractors whose total job cost is less than \$25,000: Broad Form Commercial General Liability Insurance naming the additional insureds set forth below with coverages in an amount of at least \$1,000,000 per occurrence and aggregate; or (b) Contractors or subcontractors whose total job cost is more than \$25,000: Broad Form Commercial General Liability Insurance naming the additional insureds set forth below with coverage in an amount of at least \$2,000,000 per occurrence and aggregate.
- Except as otherwise expressly approved in writing, all contractors' policies should be broad form and shall include contractual liability, personal injury protection and completed operations coverage.
- The policies should be written so as to be primary and non-contributory.
- Each insurer must be licensed to do business in the Commonwealth of Massachusetts, with a rating by Best's Insurance Rating Guide of at least A-X and coverage must be primary and non-contributory.
- A standard waiver of subrogation clause must be included for all policies.
- All coverage should be written so as to be primary of any applicable coverage carried by Owner and any other applicable ownership entity.
- Evidence of coverage to be provided via standard ACORD certificate of insurance form.

Additional Insureds:

RI Convention Center Authority, SMG/ASM GLOBAL, Amica Mutual Pavilion, Rhode Island Convention Center, the State of Rhode Island's respective Directors, Officers, Agents and Employees should be listed as additional insured on a primary and non-contributing basis. Waiver of subrogation in favor of the additional insured should apply to the policy.

Certificate Holder Section should read as follows:

Rhode Island Convention Center Authority
1 LaSalle Square
Providence, RI 02903

PRICING OF SERVICES

For the purposes of determining the fee, use the durations listed above.

As an attachment to the proposal (sample below), provide a detailed list of staff that shall be assigned to the project, their resumes, and an hourly rate for use for any projects the The Authority may use to add to the scope of services. Rates shall be valid through 12-31-24.

Sample:

Name of Personnel and Role

- | | |
|--|------------|
| • Martha Smith (Principal) | \$_____/hr |
| • John Peters (Project Manager) | \$_____/hr |
| • Milton Bradley (Electrical Engineer) | \$_____/hr |
| • Jessica Anderson (Structural Engineer) | \$_____/hr |
| • (Others as applies) | \$_____/hr |

PRICE PROPOSAL: Provide list of personnel and labor rates and attached to completed Exhibit A – Cost Proposal Form and include these together in separate envelope.

EXHIBIT A - COST PROPOSAL FORM

DESIGN SERVICES FOR THE RENOVATIONS AND REPAIRS OF THE NORTH AND SOUTH PARKING GARAGES AND VARIOUS OTHER SITE IMPROVEMENTS AT THE RHODE ISLAND CONVENTION CENTER

Name of Firm: _____

Date: _____

Scope Description	Fee (\$)
Condition Assessment	\$
Develop conceptual solutions, prepare cost estimates, prepare and present a draft report, and revise and resubmit a final report.	\$
Total	\$

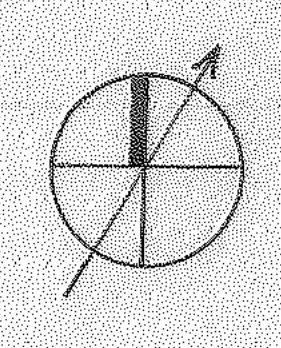
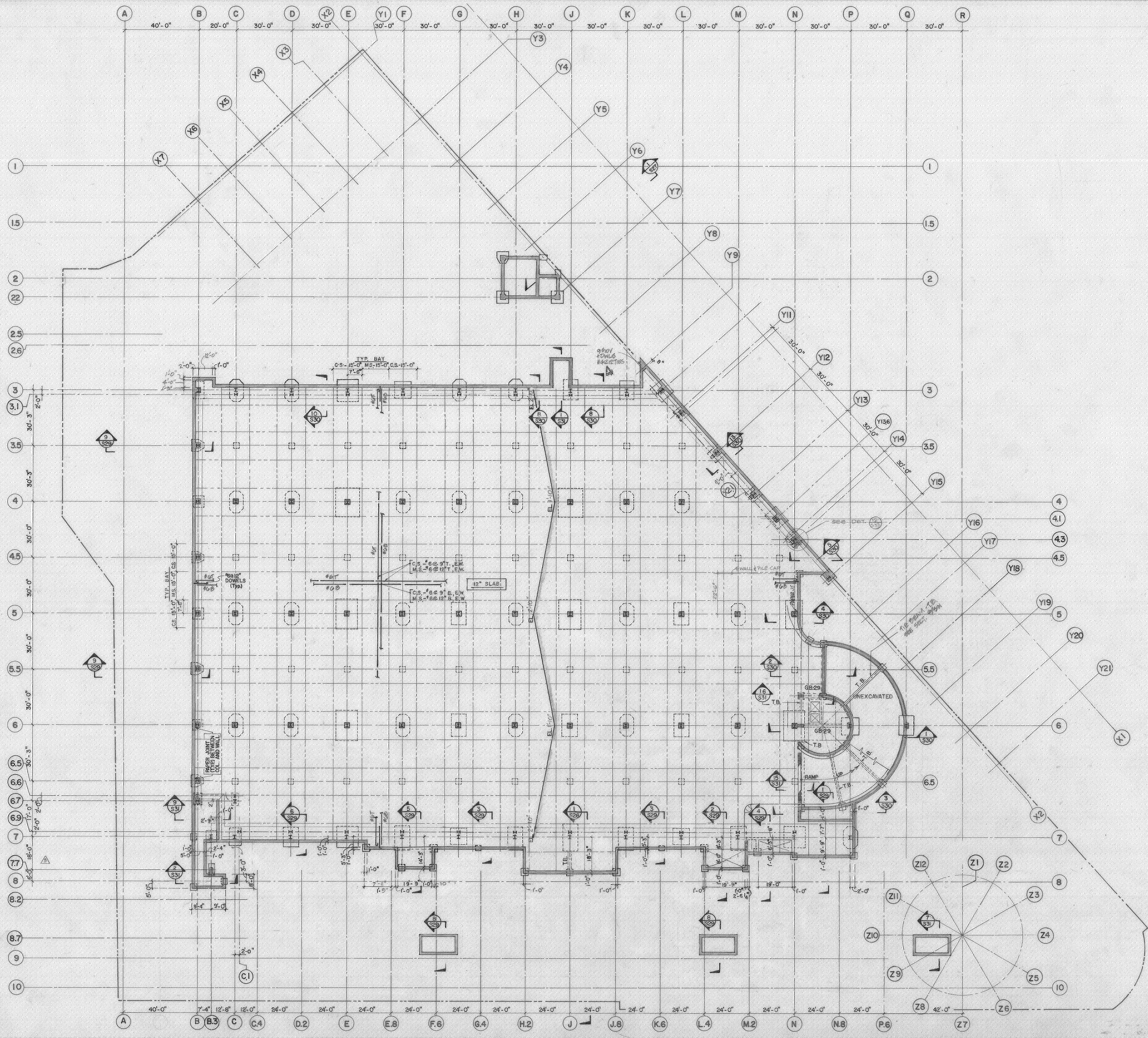
EXHIBIT B – EXISTING DRAWINGS

DESIGN SERVICES FOR THE RENOVATIONS AND REPAIRS OF THE NORTH AND SOUTH PARKING GARAGES AND VARIOUS OTHER SITE IMPROVEMENTS AT THE RHODE ISLAND CONVENTION CENTER

RICC South Garage		
Dwg. #	Drawing Title	Date
S2	Plan at Elevation 3' (Garage Base Level)	04/29/94
S3	Plan at Elevation 13' (Garage Street Level)	04/29/94
S4	Plan at Elevation 23' (Garage Top Level)	04/29/94

RICC North Garage		
Dwg. #	Drawing Title	Date
A.102	Floor Plan Level 2	05/02/94
A.103	Floor Plan Level 3 (Levels 4-6 Sim.)	05/02/94
A.107	Floor Plan Level 7	05/02/94
A.108	Floor Plan Level 8 (Top Level)	05/02/94

Note: Drawings are not to scale. Existing project applicable drawings are being collected and are to be scanned and made available to the select firm.



Providence Rhode Island Convention Center

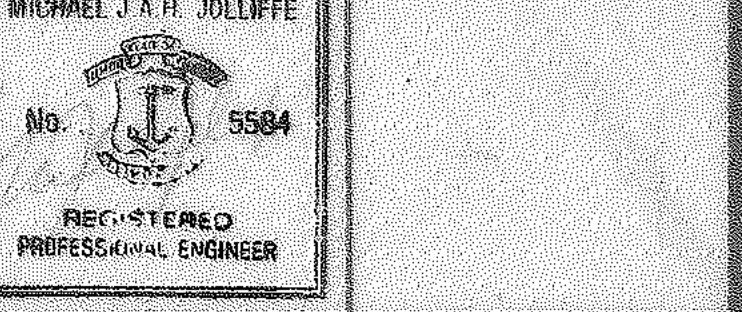
A Metro Partners Development
for
The Convention Center Authority

Construction Manager
Gibane Building Company
7 Jackson Walkway
Providence RI 02940
(401) 456 5800

HNTB
Howard Needles Tammen & Bergendoff
Architects
Suite 4200 Prudential Center
Boston, MA 02119
(617) 267-6710

Zaldastani Associates Inc.
Consulting Structural Engineers

Seven Water Street
Boston, Massachusetts 02109
(617) 267-6060



- NOTE:**
1. All Slab Rebar to be Epoxy Coated.
 2. Provide waterstop in all vertical wall construction joints and in all construction joints below Elev. +1'-0".

As BUILT	27-AUG-94
BULLETIN #1	28-AUG-94
BULLETIN #2	2 JULY 91
BULLETIN #3	24 MAY 91
BULLETIN #4	24 MAY 91
BULLETIN #5	24 MAY 91
BULLETIN #6	24 MAY 91
CONSTRUCTION	13 DEC 90
BIDS	5 NOV 90
No.	Issued For
Scale 1/4"=1'-0"	Date
Drawn By: S.S.	
Checked By: S.S.	
Approved By:	
Key Plan	

PLAN AT ELEVATION 3

Project No: 13445 Sheet of
Drawing No.

S2

Providence Rhode Island Convention Center

A Metro Partners Development
for
The Convention Center Authority

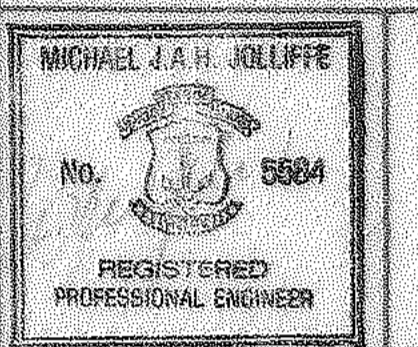
Construction Manager
Gilbane Building Company
7 Jackson Walkway
Providence RI 02940
(401) 436 5800



Howard Needles Tammen & Bergendoff
Architects
Suite 4200 Prudential Center
Boston, MA 02199
(617) 267-6710

Zaldastani Associates Inc.
Consulting Structural Engineers

Seven Water Street
Boston, Massachusetts 02109
(617) 367-6000



PRECAST DESIGN NOTES:

- Live Loading = 50 psf.
- All walls shall have at least the minimum web reinforcing in accordance with ACI 318-85.
- Pick-up devices shall not involve hardware protruding from the top surface of the unit; units are inserted cast into the top surfaces. Devices may be attached to the end of the unit and shall not extend beyond the face of the unit after final erection. Any part of the device remaining in the unit after erection shall be protected from corrosion. The pick-up devices are subject to review and approval by the Architect.
- Extreme care shall be taken in shipping and erection of double tees so that flange edges are not damaged.
- All embedded steel except for vertical web shear reinforcing and the prestressing strand shall be galvanized.
- EC denotes epoxy coatings.
- Erector Note: Well. Prior to the erection of the precast double tee's, the steel plate girders at Level 35 shall be erected to plumb and stay the column.

NOTES:

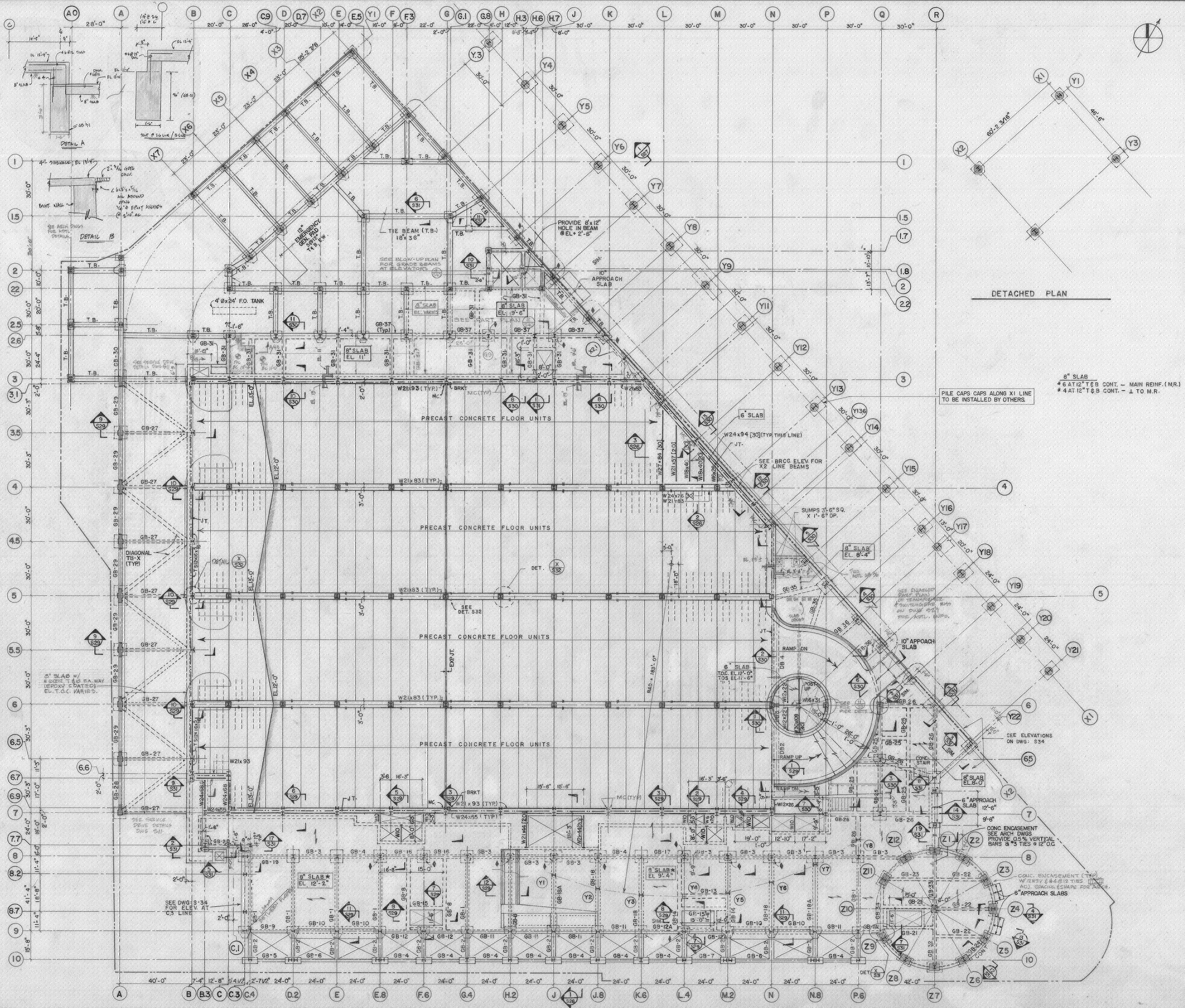
- * COORDINATE WITH ARCHITECTURAL DWGS. FOR 2" DEPRESSIONS FOR SLAB FINISHES. SEE ALSO TYP. DETAILS FOR SLAB DEPRESSIONS, DWG. S-34.
- PIER 42" SQ. SEE SECT. 9-30.
- BETWEEN COLUMN LINES 7-49 AND C-34 R. TOP OF CONCRETE IS 2" BELOW FINISH FLOOR ELEVATION. MOST OF AREA TO BECOME TERRAZZO FINISH. BALANCE TO HAVE 2" CONCRETE INFILL TOPPING. SEE ARCH. DWGS. FOR TERRAZZO LIMITS. TOPPING SHALL BE 2" MIN. THK. FRESHLY PLACED CONCRETE. BONDING AGENT APPLICATION WILL BE REQ'D. WHERE APPLICABLE WILL NOT BE REQ'D.

AS BUILT	DATE
BULLETIN # 5	28 AUG 71
BULLETIN # 6	2 JULY 71
BULLETIN # 7	2 MAY 71
BULLETIN # 8	22 FEB 71
ADDENDUM # 1	8 DEC 90
2 BIDS	5 NOV 90
No.	Issued For
Scale	As Shown
Drawn By	Checked By
Approved By	Key Plan

PLAN AT ELEVATION 13

Project No. 13445 Sheet 5 of 5

S5



DETACHED PLAN

8" SLAB
6 AT 12" T & B CONT. - MAIN REINF. (M.R.)
4 AT 12" T & B CONT. - L TO M.R.

PILE CAPS ALONG X1 LINE
TO BE INSTALLED BY OTHERS

SEE ELEVATIONS
ON DWG. S-34

CONC. ENCLOSURE
SEE ARCH. DWGS.
PROVIDE 0.5% VERTICAL
BARS 9" TIES @ 12" O.C.

CONC. ENCLOSURE (TYP.)
W/ 12" x 12" x 4" @ 12" TIES
ADJ. BRACING & SHAPES FOR ARCH.
6" APPROACH SLABS

MICHAEL J.A.H. HOLLIFFE

 No. 5564

REGISTERED
PROFESSIONAL ENGINEER

7. Change area construction consists of 5000 yd³ pre-stressed concrete tie units supported by 6" formed beams as shown on the Drawings. See Drawing S-32 for present details.
8. Steel framed parking areas shall be 6" formed and Reinforced with #4 G's each way tie on bottom. All bars have to be spaced closely.
9. All other areas consist of 5000 lightweight concrete beams per cubic yard @ 8000 psi @ 28 days on 2" x 20 gals galvanized complete deck and floor. Δ denotes direction of deck and slab sp. Reinforce slab with #4 @ 12" each way top.
10. TOS denotes Top of Steel. TDC denotes Top of Concrete.
11. Five framed concrete slabs at top-of-concrete elevation 25'-0".
Top-of-steel Elevation = 22'-6 3/4".
For beams supporting recent tops, top-of-deck elevation is local top-of-concrete minus 1' 6".
For beams supporting cast floor slabs, top of steel elevation = local top of concrete minus 6'.
12. (N) indicates number of 3/4" diameter by 1' 0" headed steel studs evenly spaced along the flange of the member indicated.
13. Dimensions for Escalator beam framing shall be coordinated with the Manufacturer selected.
14. For stability bearing, see Drawings S16 through S30.
15. See project notes on Drawing S33.
16. PRECAST MANUFACTURER NOTE:
Vene a electric rods have CMU walls and use concrete topping slabs to leave interior room.

X Embedded $\angle 5 \times 3\frac{1}{2} \times \frac{5}{16}$ in slab edge.
Reference to Section I on DWG. S26.

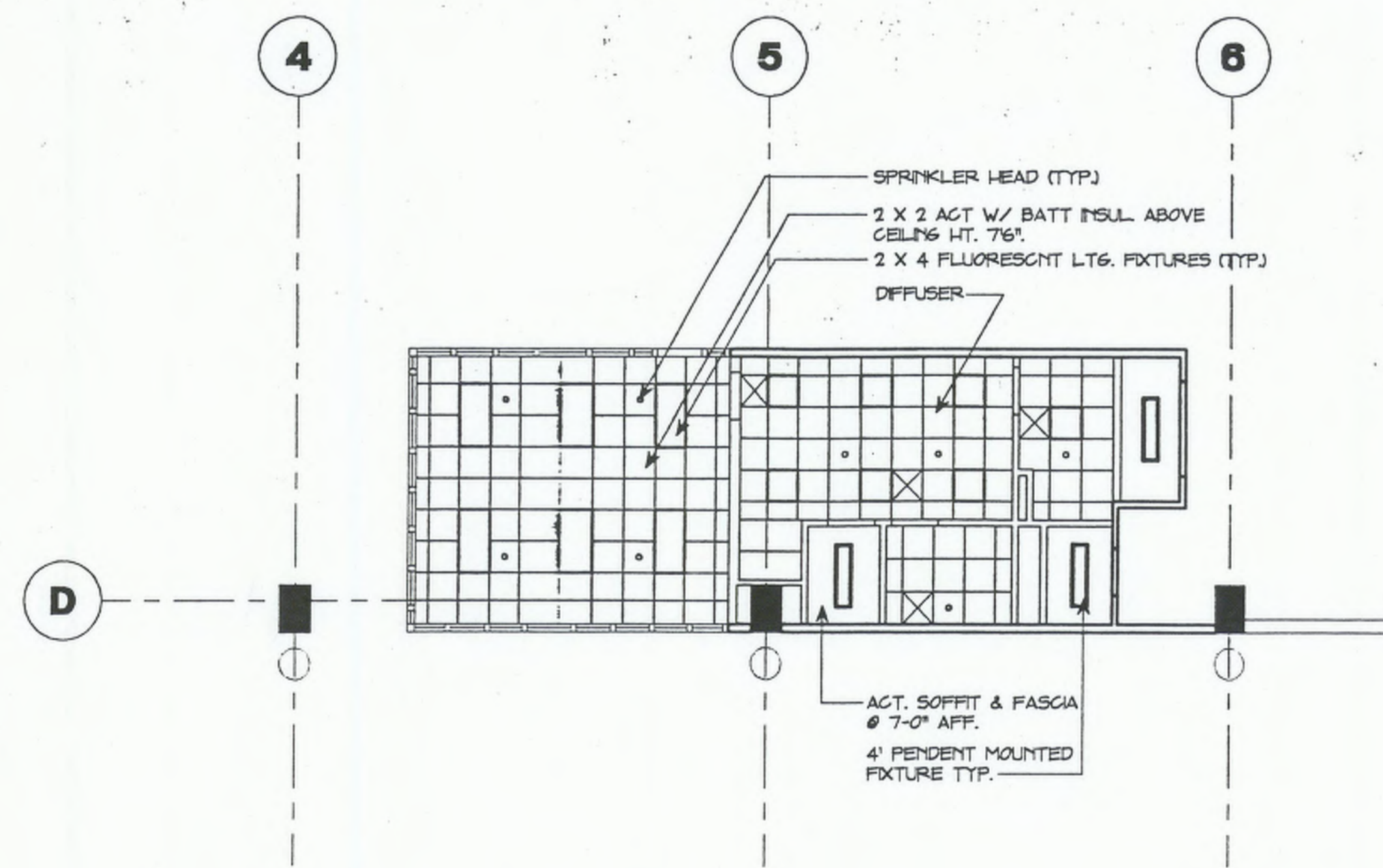
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3	BULLETIN #8	20 JUL
4	BULLETIN #2	2 JUL
5	BULLETIN #8	6 MAY
6	BULLETIN #1	22 FEB
7	ADDENDUM 1	8 DEC
8	CONSTRUCTION	3 DEC
9	BIDS	5 NOV
10	Issued For	NOV

Scale: 1/8" = 1'-0" Date: _____
 Drawn By: APR/SS/M.L.G.
 Checked By: _____
 Approved By: _____
 Key Plan

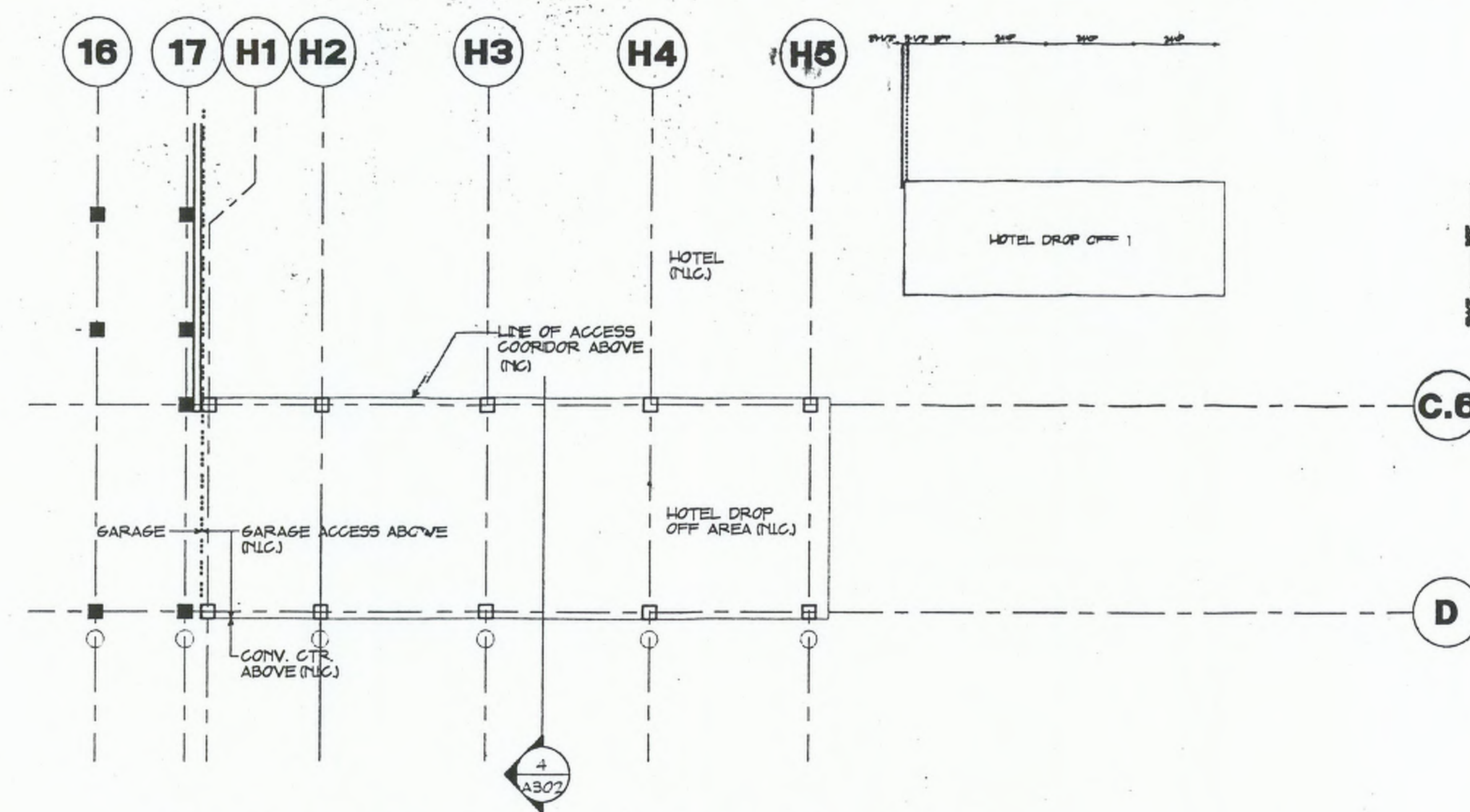
PLAN AT ELEVATION 2

Project No. 13435	Sheet	31
Drawing No.		

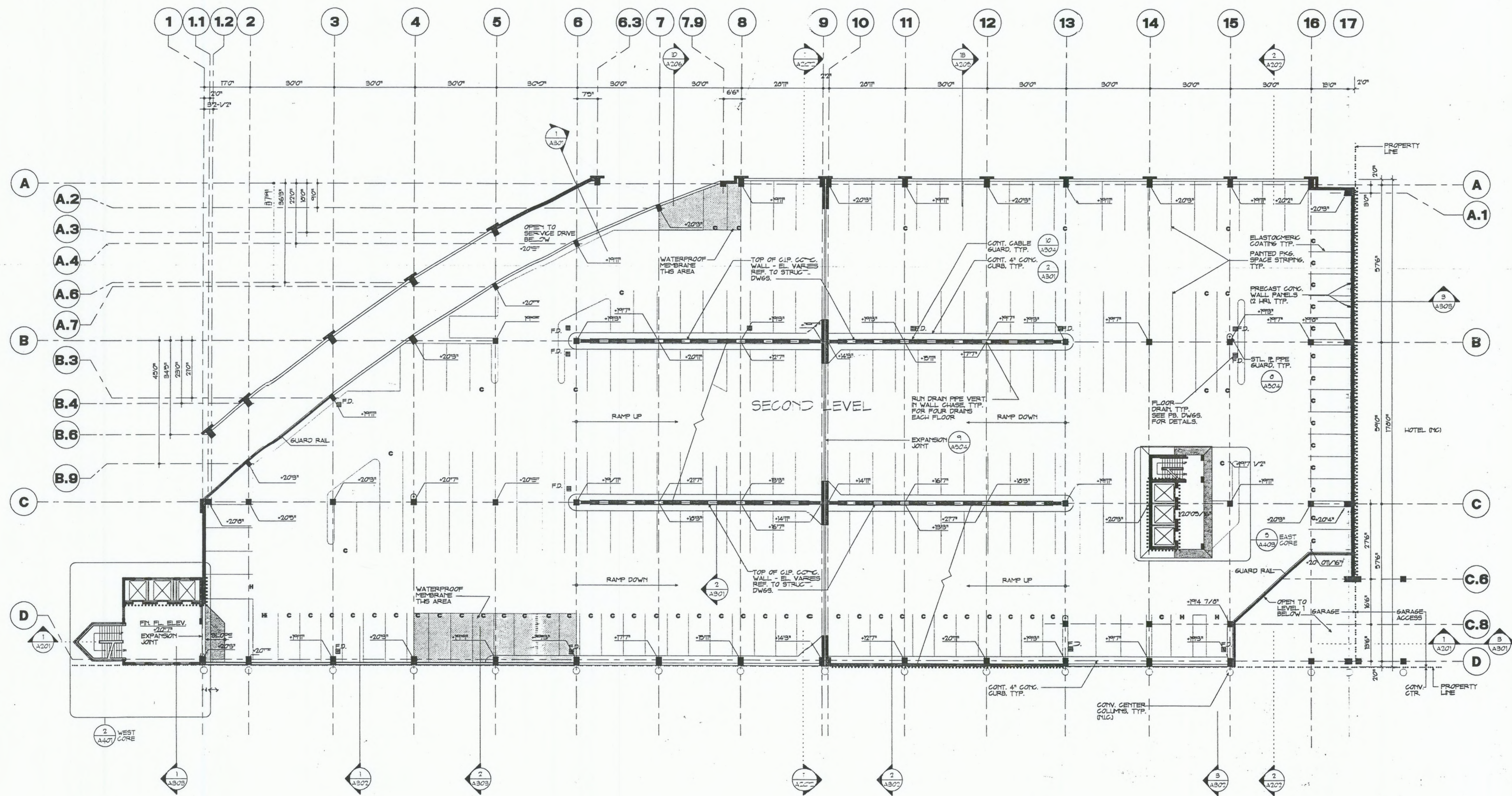
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1 REF. CLG. PLAN - OFFICE
SCALE: 1/8" = 1'-0"



2 PART PLAN - HOTEL DROP OFF



3 LEVEL 2 (EL. + 20')

209 PARKING SPACES

JOHN NORTH PARKING STRUCTURE

CONVENTION CENTER
COMPLEX
PROVIDENCE
RHODE ISLAND

A METRO PARTNERS
DEVELOPMENT FOR
THE CONVENTION
CENTER AUTHORITY

CONSTRUCTION MANAGER

Marshall Contractors Inc.

75 Newman Avenue

Rumford, RI 02916

1401 438-3500



Boston

Buffalo New York

St. Louis Washington

Cannon Boston Inc.

Architects and Engineers

148 State Street

Scottdale, MA 02099

617 742-5440

Fax 617 723-8832

Varasse Hengen Brustin Inc.

Civil Engineers/Surveyors

530 Broadway

Providence, RI 02909

1401 272-8100

Desman Associates

Structural Engineers/Parking Garage Consultants

307 Fifth Avenue

New York, NY 10015

212 685-5360

The SWA Group

Landscape Architects

71 Boylston Street

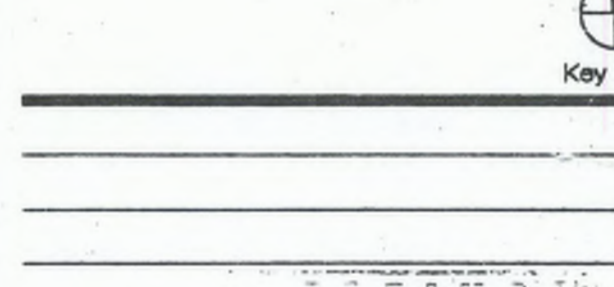
Scottdale, MA 02116

617 266-4703

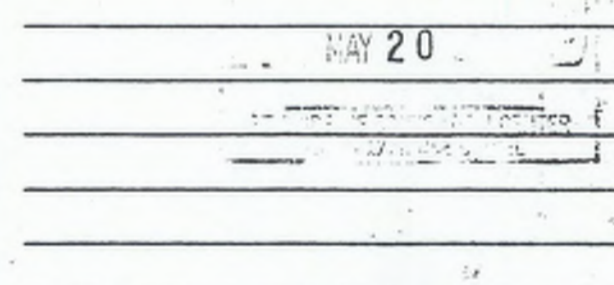
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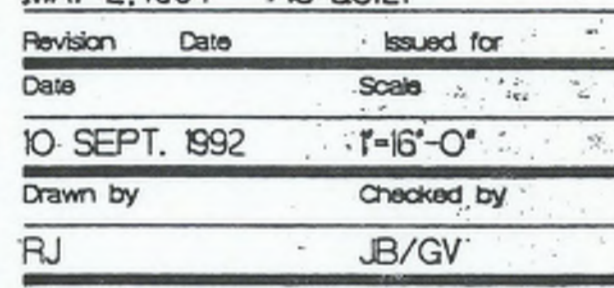
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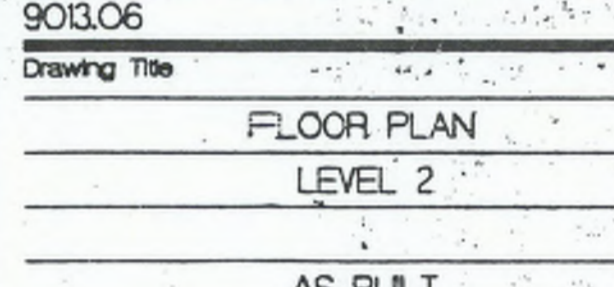
Key Plan



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NORTH PARKING STRUCTURE

CONVENTION CENTER
COMPLEX
PROVIDENCE
RHODE ISLAND

A METRO PARTNERS
DEVELOPMENT FOR
THE CONVENTION
CENTER AUTHORITY

CONSTRUCTION MANAGER

Marshall Contractors Inc.
75 Newman Avenue
Rumford, RI 02908
401 438-3500



Boston
Buffalo New York
St. Louis Washington

Cannon Boston Inc.

Architects and Engineers
148 State Street
Boston, MA 02109
617 742-5440
Fax 617 723-8832

Vanasse Hangen Brustlin Inc.

Civil Engineers/Surveyors
530 Broadway
Providence, RI 02908
401 272-8000

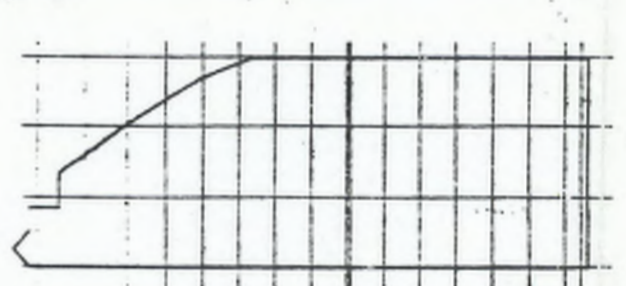
Desman Associates

Structural Engineers/Parking Garage Consultants
307 Fifth Avenue
New York, NY 10016
212 688-5360

The SWA Group

Landscape Architects
71 Boylston Street
Boston, MA 02116
617 268-4703

Key Plan



Key Plan

MAY 2, 1994 AS-BUILT

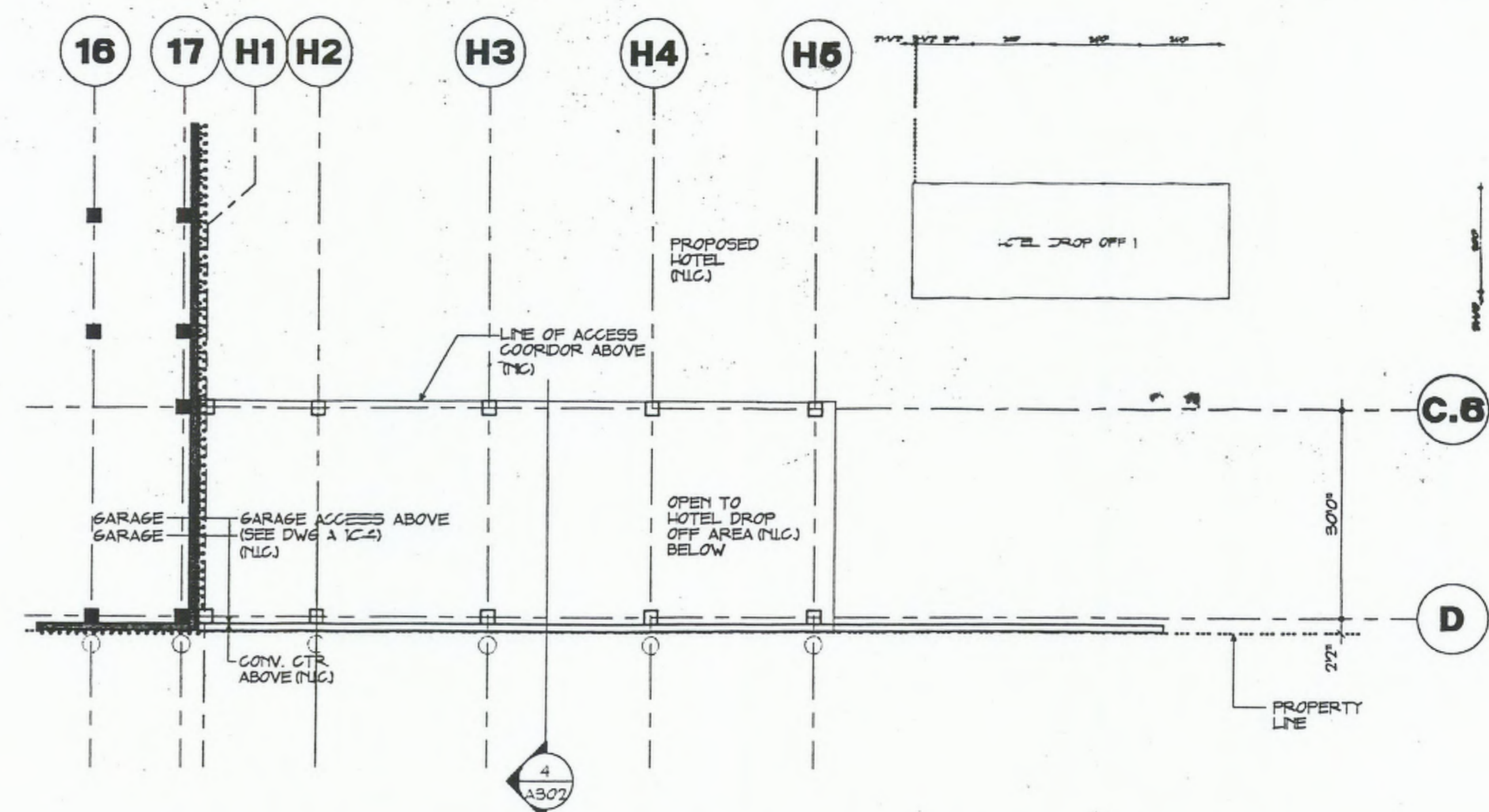
Revision	Date	Issued for
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Drawn by	Checked by	
GV	JB	
Project No.		
903.06		
Drawing Title		

FLOOR PLAN
LEVEL 3

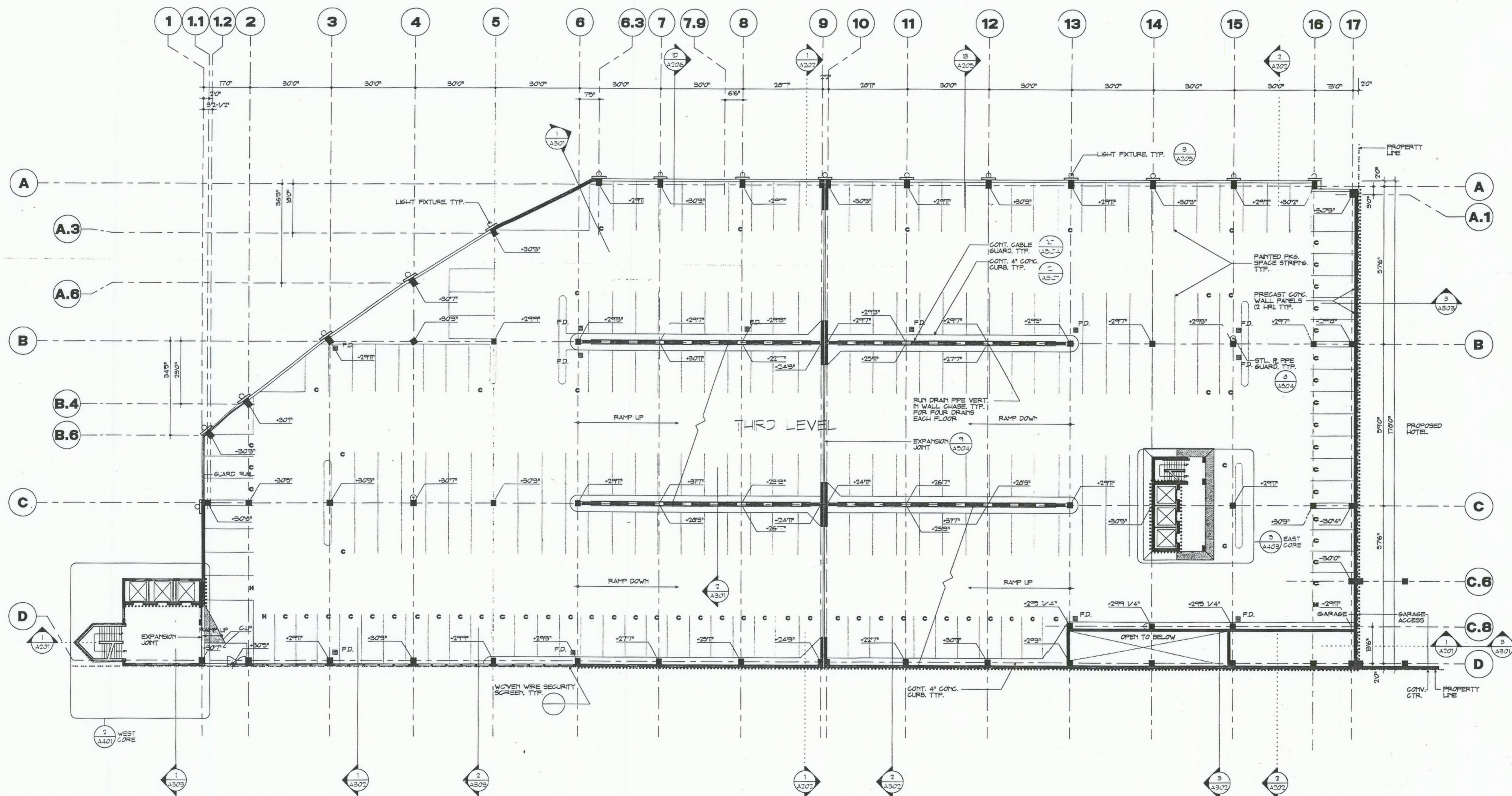
AS BUILT

Drawing No.

A.103



1 REFLECTED CEILING PLAN - HOTEL DROP OFF



2 LEVEL 3 (EL. + 30)

233 PARKING SPACES

NORTH PARKING STRUCTURE

CONVENTION CENTER
COMPLEX
PROVIDENCE
RHODE ISLAND

IA METRO PARTNERS
DEVELOPMENT FOR
THE CONVENTION
CENTER AUTHORITY

CONSTRUCTION MANAGER

Marshall Contractors Inc.
75 Newman Avenue
Rumford, RI 02916
401 438-3500



Boston
Buffalo New York
St. Louis Washington

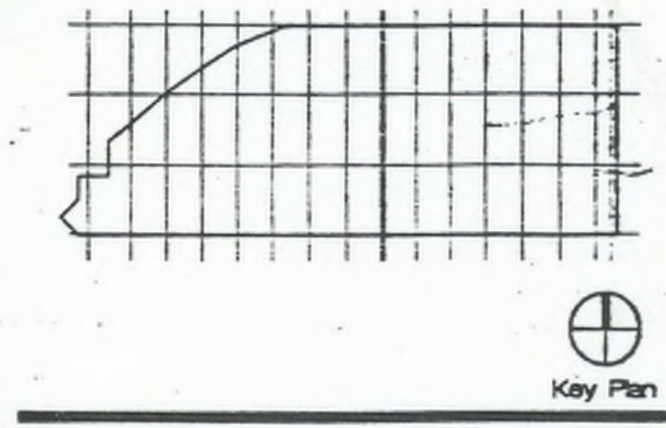
Cannon Boston Inc.
Architects and Engineers
148 State Street
Boston, MA 02109
617 742-5440
Fax 617 723-8832

Vanasse Hangen Brustlin Inc.
Civil Engineers/Surveyors
530 Broadway
Providence, RI 02903
401 272-8000

Desman Associates
Structural Engineers/Parking Garage Consultants
307 Fifth Avenue
New York, NY 10018
212 686-5350

The SWA Group
Landscape Architects
71 Boylston Street
Boston, MA 02116
617 266-4703

Key Plan



Revision	Date	Issued for
10 SEPT. 1992	1-16-01	Scale
GV	JB/GV	Checked by
Project No.		
9003.06		
Drawing Title		
FLOOR PLAN		
LEVEL 7		
AS BUILT		

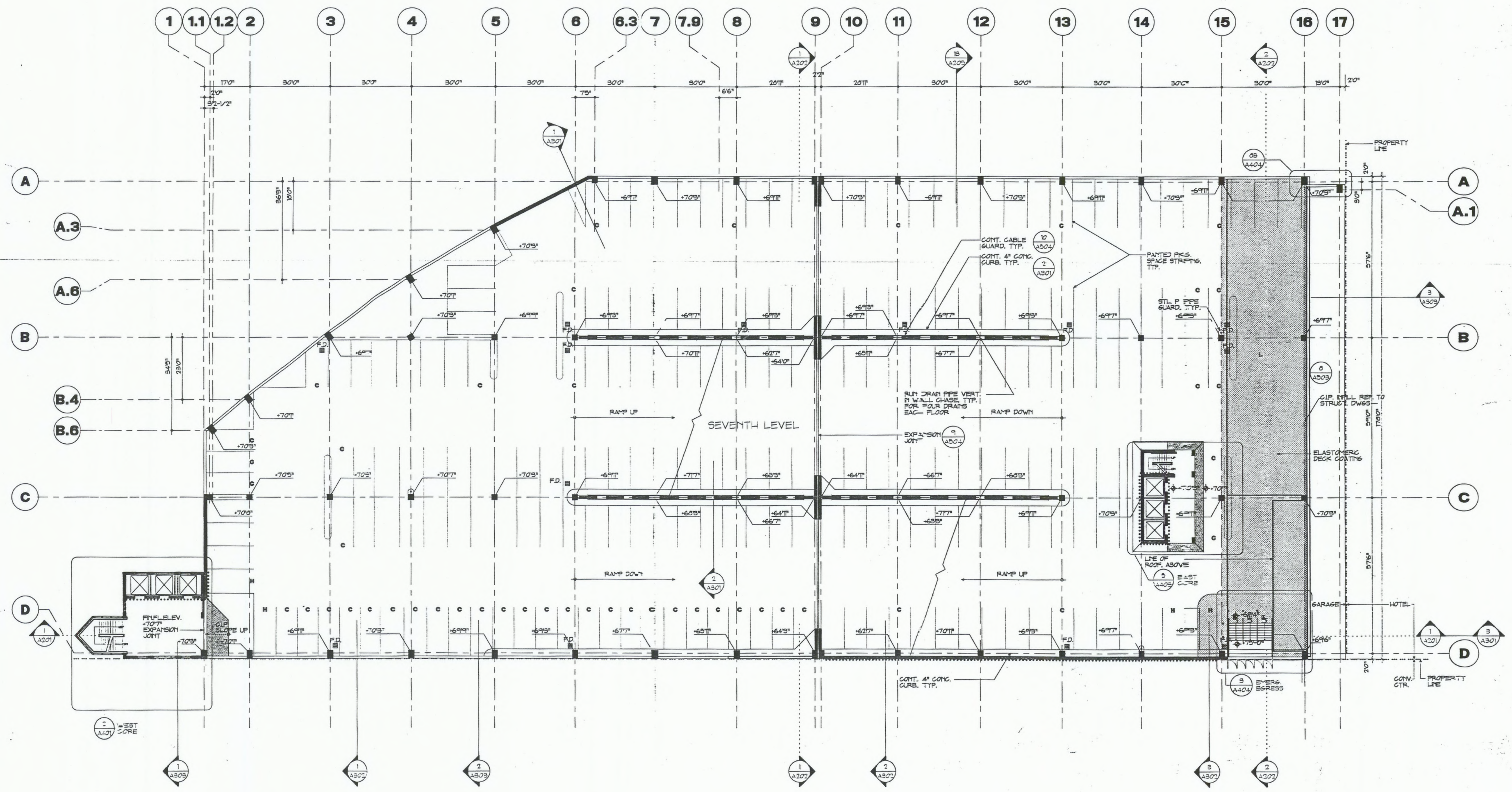
MAY 2, 1994 AS-BUILT

Revision Date Issued for
Date Scale
10 SEPT. 1992 1-16-01
GV JB/GV
Project No.
9003.06
Drawing Title

FLOOR PLAN
LEVEL 7
AS BUILT

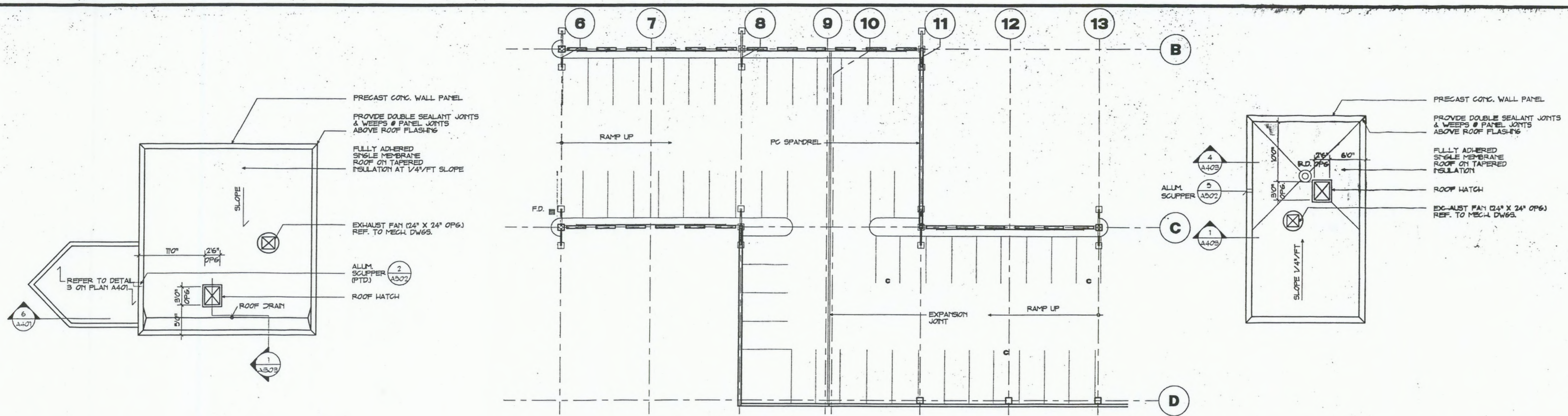
Drawing No.

A.107



1 LEVEL 7 (EL + 70)

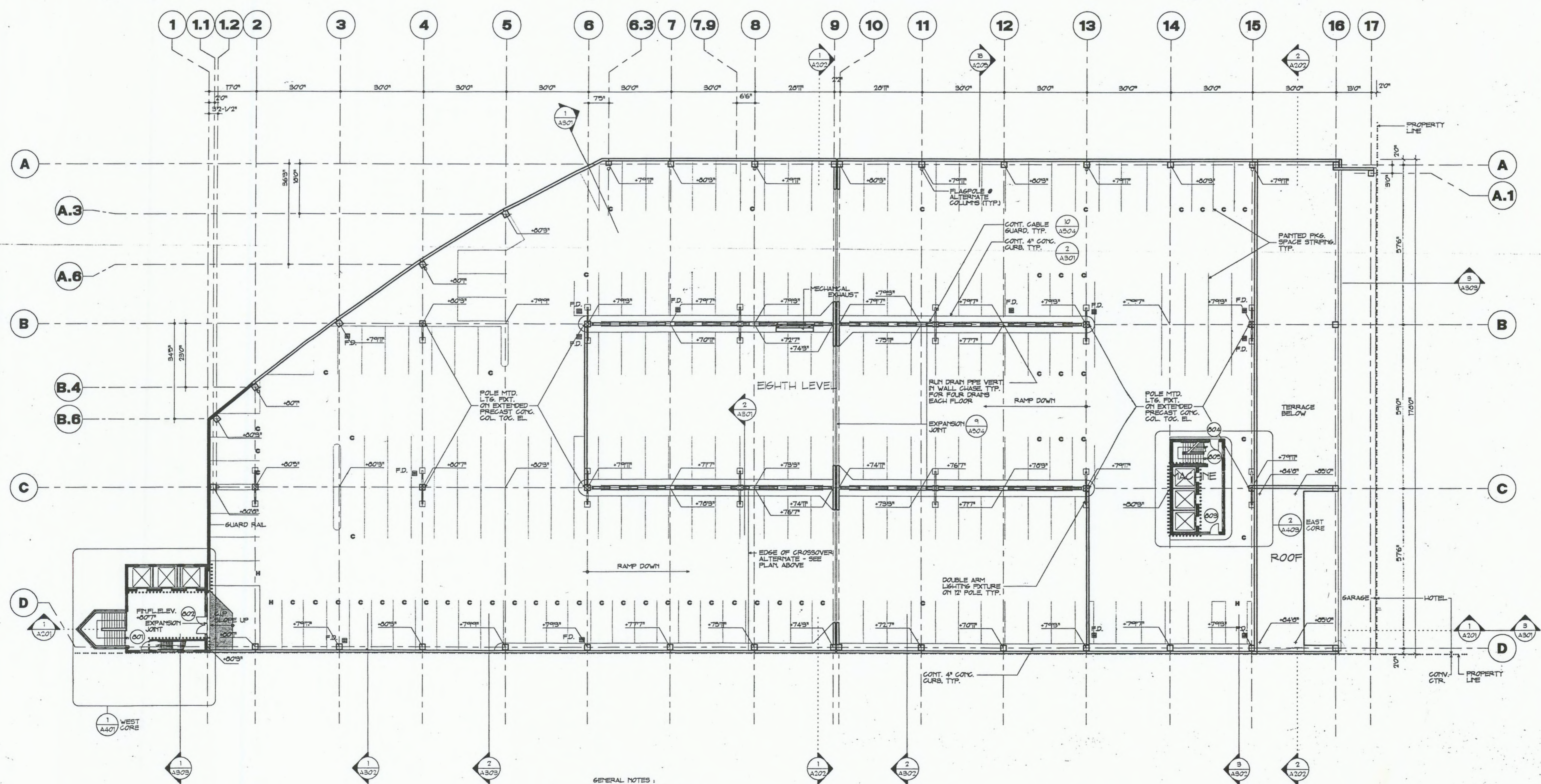
223 PARKING SPACES



1 ROOF PLAN - WEST CORE
SCALE: 1/8" = 1'-0"

2 PART PLAN @ CROSSOVER (ALTERNATE) 50 PARKING SPACES

3 ROOF PLAN - EAST CORE
SCALE: 1/8" = 1'-0"



4 LEVEL 8 (EL. + 80)

GENERAL NOTES:
1. ENTIRE EXT. DECK SURFACE
FINISH TO HAVE ELASTOMERIC
DECK COATING.

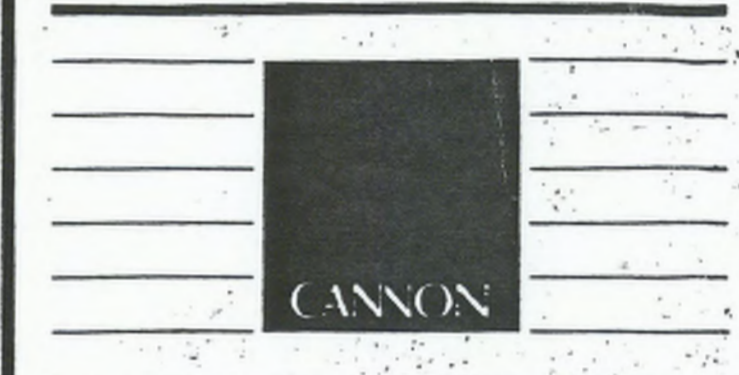
208 PARKING SPACES

NORTH PARKING STRUCTURE

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CENTER AUTHORITY

CONSTRUCTION MANAGER
Marshall Contractors Inc.
75 Newman Avenue
Rumford, RI 02916
401 438-3500

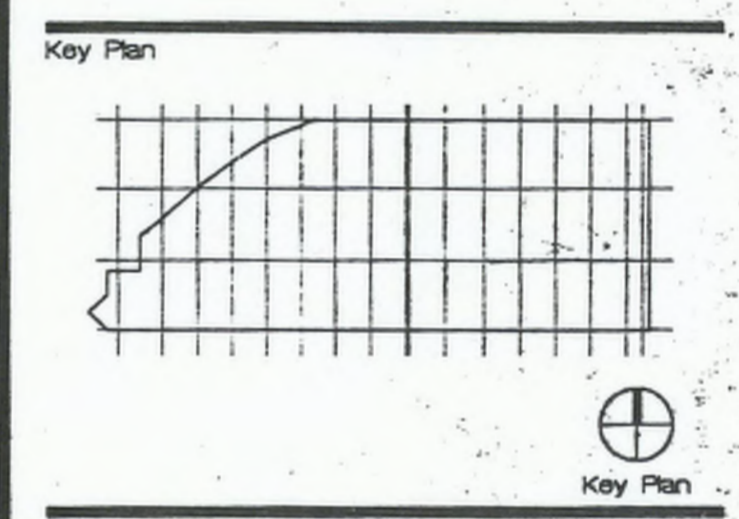


Boston
Buffalo New York
St. Louis Washington
Cannon Boston Inc.
Architects and Engineers
148 State Street
Boston, MA 02109
617 742-5440
Fax 617 723-8832

Vanasse Hangen Brustlin Inc.
Civil Engineers/Surveyors
530 Broadway
Providence, RI 02908
401 272-8000

Desman Associates
Structural Engineers/Parking Garage Consultants
307 Fifth Avenue
New York, NY 10016
212 686-5360

The SWA Group
Landscape Architects
71 Boylston Street
Boston, MA 02116
617 268-4703



Revision	Date	Issued for
10 SEPT. 1992	1'-6"-0"	Scale
Drawn by	Checked by	
GV	JB/GV	
Project No.		
903.06		
Drawing Title		
FLOOR PLAN		
LEVEL 8		
AS BUILT		
Drawing No.		

A.108